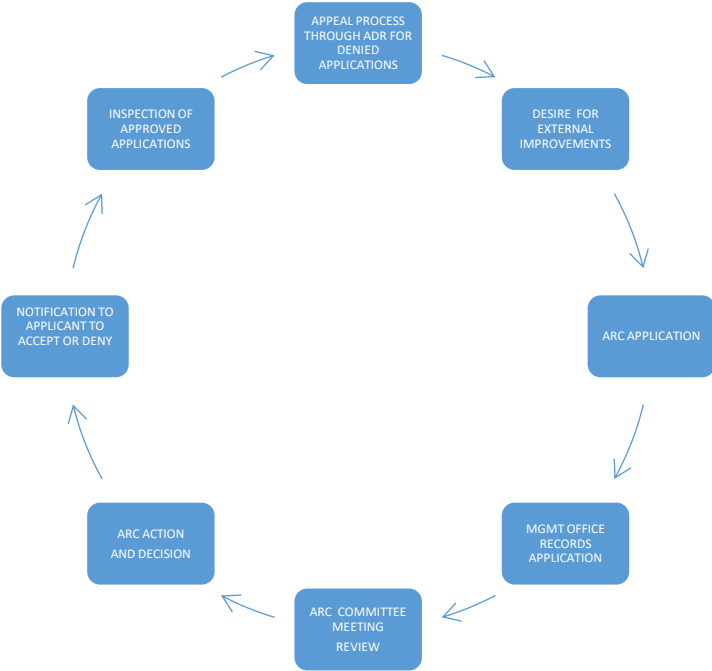


**THE FAIRWAYS AT LAKE RIDGE HOMEOWNERS ASSOCIATION
ARCHITECTURAL REVIEW COMMITTEE (ARC)
DETACHED HOMES STANDARDS**

***ARCHITECTURAL REVIEW COMMITTEE
DETACHED HOMES STANDARDS***

**Board Approved Revisions through
July 18, 2022**



THE FAIRWAYS AT LAKE RIDGE HOMEOWNERS ASSOCIATION
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INTRODUCTION

The following document has been prepared to help guide you should you want to make changes to the landscaping around your home or to the exterior of your home. If you have any questions after reviewing the document, please contact the Chair of the ARC or the Management Office.

The Architectural Review Committee (ARC) is sanctioned by the Board of Directors (BOD) of the Fairways at Lake Ridge Homeowners Association, Inc. The responsibility of the ARC is to assure that the appearance of the exterior of homes and properties is in agreement with the regulations and standards established by the Board. Periodic inspections may be required. The authority of the ARC is limited to processing applications, approving or denying applications, and cursory inspection of completed work done on the exterior of homes and privately owned property. Issues of maintenance and adherence to existing standards and the enforcement of same, remain the responsibility of the Management Office.

To ensure consistent application of these responsibilities, a set of standards has been developed and approved by the BOD which the ARC is required to follow in reviewing applications. These standards are written to provide homeowners the flexibility to personalize the exterior of their homes and surrounding area while maintaining visual harmony, ambiance, and aesthetic nature throughout the community.

These standards replace all previously distributed standards and become effective as of the revision date posted in the footer of this document.

These standards have been developed in order to clarify details of what is or is not permitted on the exterior of the home and the surrounding area. ARC Standards for Detached homes supplements the Fairways at Lake Ridge Governing Documents, but shall not conflict with the Governing Documents. If a conflict is discovered, the Governing Documents shall prevail and the ARC Standards shall be amended accordingly.

NOTE

These standards DO NOT cover any building code or safety requirements associated with the application. It is the responsibility of the homeowner to obtain all permits, variances, and any other documentation associated with the application. When a permit from the Township of Lakewood is required, the Lakewood Building Code Office will not issue a

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construction permit unless an approved ARC application is included in the package submitted to them.

It is recognized that there are different requirements and limitations for Courtyard homes. Courtyard homeowners should refer to separate Courtyard Standards for specific regulations.

GENERAL REQUIREMENTS

All exterior alterations to a home or private property must be approved in advance by the ARC (unless otherwise specified in these standards). Application forms are available on the Fairways website or in the Management Office. Homeowners must submit a separate ARC application and supporting documentation for each alteration.

All applications submitted to the ARC must include a detailed written description of the proposed change. Applications must be accompanied by and/or refer to:

- a) A property plot plan and/or schematic of the home and property, property lines, right-of-way and impact on association maintenance responsibilities, (i.e., effects on lawn, listed easements, and/or snow clearing).
- b) Safety issues and considerations.
- c) Impact on the architectural and aesthetic appearance of the community.

It is the responsibility of all homeowners to maintain their property in a neat and orderly manner at all times.

REMEMBER TO:

- a) Use the current application form.
- b) Include all required documents with the submission of the application.
- c) Do not schedule or initiate work before written approval has been received.
- d) Permit must be displayed in the front window facing out while work is being conducted.
- e) When work is complete, sign the permit and return it to the Management Office.

The application will be reviewed with the following considerations:

- a) Impact upon Association maintenance responsibilities including but not limited to impact upon lawn mowing, listed easements, and snow removal.
- b) Safety considerations
- c) Impact upon the underlying architectural and aesthetic themes of the community.

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THE ARC APPLICATION PROCEDURE

HOMEOWNER SECTION:

Fairways homeowners that wish to make changes or improvements to the exterior of their homes must obtain ARC approval and a permit to proceed. Changes or improvements to the home or property conducted without approval is a violation that will be addressed by the Management Office. The Management Office will issue a STOP WORK order to the homeowner and the homeowner will be told to remove the change or improvement. Failure to comply with the order will result in a fine by the Association to the homeowner for each day that the homeowner is in violation of the policy.

Homeowners can download a copy of the ARC Application Form from the Fairways Website, or a printed copy may be requested from the Management Office located at 1 Fairways Boulevard.

The form is divided into three functional areas of responsibility. The Homeowner is responsible for completing the portion of the form (HOMEOWNER USE ONLY). All required additional information, as is noted in this portion of the application must be secured by the homeowner and attached to the application for review by the ARC.

Required information that is not enclosed with the Application package will result in the application being denied for lack of documentation.

REPAIRS UNDER EMERGENCY CONDITIONS:

In the event of an emergency condition where interior damage to the home is exhibited, the homeowner is obliged to notify the Management Office of the condition without delay to seek approval to remediate the condition. An emergency condition is classified as a leak in the roof, windows, siding, or any other exterior element that is causing damage to the interior of the home.

The management office will notify the Chair of the ARC or his/her designated representative, and a conditional approval to remediate the condition shall be granted by ARC. ARC will then inspect the home and document the interior damage.

The homeowner is required to follow the ARC Standards for window replacement or other exterior replacement or upgrade. The documentation prepared by a contractor is required to ensure that all ARC standards are followed. The homeowner is then required to submit the ARC Application Form to the Management Office, noting the EMERGENCY CONDITION and the conditional approval by ARC. The ARC representative will confirm that all ARC Standards are being addressed, and the "conditional approval" is amended

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to “approved” by ARC and the Management Office. A permit is granted by the Management Office, and remediation work can proceed.

The approved application is ratified at the next ARC meeting. Ratification is to acknowledge the ARC approval and to make it part of the minutes if the ARC meeting.

MANAGEMENT SECTION:

Management, through the Management Office, will examine your application to determine if the application and supporting documentation is complete. If the application package is not complete, you will receive a call to ask you to complete the application and/or supply the needed required documentation.

If the application package is complete, the Management Office will assign an application number and record the date and time when your application is logged in for assignment to the ARC. A copy of the application package will be filed with the Homeowners records.

Applications that receive an application number and are logged in will be reviewed by ARC at the next regularly scheduled ARC meeting. ARC meetings are currently scheduled for the second Wednesday of each month with the exception of December when no ARC meetings are scheduled. ARC may choose to add one or many Special Meetings to their schedule when administrative issues or standards are being reviewed. Review of applications is not likely to be addressed at Special Meetings, but that is at the discretion of the ARC.

ARC will attempt to review all applications that have been tabled for review at previous meetings and all new applications.

You will note that a Permit Number is a data element in the management section of the form. This is left blank initially because all applications do not receive a permit number. Only applications that are reviewed and approved by ARC, and returned to the Management Office qualify for a Permit Number. At that time, the Management Office assigns a Permit Number and the Homeowner is notified that the permit has been issued and is ready for pickup at the Management Office. The form is updated and the updated application is filed with the Homeowners records.

The Homeowner is instructed to place the ARC Permit in a front window with the permit information facing the exterior of the home so that it can be viewed from the outside. Construction can commence at this point, but must commence before 120 days have elapsed.

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The Homeowner is instructed that upon completion of the construction effort, the ARC permit is to be returned to the Management Office. The Management Office will file a copy of the ARC Permit in the Homeowners file and place the original permit in the ARC package to be reviewed at the next regularly scheduled ARC meeting.

Members of the ARC will conduct a Final Inspection at that time and notify the Management Office of the results. At this point ARC will have completed their work on the application. Issues with the resident will be addressed by the Management Office.

Unauthorized work that is performed will be subject to violations:

- a) A courtesy phone call to the homeowner will be done by the Management Office. At that time, you will have seven (7) days to comply.
- b) If the compliance is not met within seven (7) days, a violation letter will be sent to the homeowner stating that they will have thirty (30) days to comply or else fines maybe issued.
- c) Should a homeowner fail to comply with the ARC Standards, a daily fine will be applied.

ARC SECTION:

The Chairperson of ARC, or the designated representative will retrieve the ARC package from the Management Office one or two days prior to the next regularly scheduled ARC meeting. The complete package will be brought before the ARC members at the meeting.

The package will contain the following items:

- a) A list of all new ARC Applications by application number and a list of all permits that have been returned to the Management Office as complete.
- b) The new ARC applications to be reviewed by ARC.
- c) The permits for completed ARC Applications.

The new ARC Applications are reviewed to determine if they comply with the current standards.

- a) If the construction stated in the ARC Application is permitted by the current ARC Standards, the application is approved.
- b) If the construction stated in the ARC Application needs a conditional approval based on different qualifiers or conditions, the Homeowner will be notified of the conditions upon which the ARC Application can be approved.
 1. If there is an agreement, and the conditions are met, then a conditional approval will be given and an ARC Permit will be issued, based on the agreement of compliance.
 2. If there is no agreement that conditions will be met, the application is denied.

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- c) If there is no current standard, or if more information is needed, the ARC Application is tabled for review and consideration.
- d) If the requested construction is not permitted in the current standard, the application is denied.

Important Telephone Numbers

TOWNSHIP OF LAKEWOOD

Municipal Offices 732-364-2500 Recycling 732-367-0802

Lakewood Inspection Department

Construction (Building), Fire, Plumbing, Mechanical, & Electrical, etc. Permits

212 4th Street

Lakewood, NJ 08701

732-364-3760 ext. 5620

Homeowners should be aware of Lakewood Township requirements regarding MINOR WORK – ARTICLE 5:23-2.17A (Community Affairs).

The requirements are too long and varied to be listed in this Standards Booklet. Basically, they note that the issuance of a permit for MINOR WORK, i.e., replacement of water heater, may not be required. However, notice should be given to the enforcing Lakewood Township agency before work begins.

Failure to give notice (as stated above) could lead to the homeowner being fined. Homeowners are encouraged to employ licensed and insured professionals for their protection.

Most licensed professionals will be conversant with Lakewood Township requirement regarding MINOR WORK and will be insured to protect the homeowner.

OCEAN COUNTY

For your protection, it is the law in Ocean County that all contractors be licensed. You may wish to check in advance to determine if your contractor is licensed or if there are any outstanding problems or issues that you otherwise would be unaware of. CALL:

Ocean County Department of Consumer Affairs

1027 Hooper Avenue Building 2

Toms River, NJ 08754 732-288-7810

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DEFINITION OF TERMS REFERRED TO IN THESE STANDARDS

For the purpose of establishing and implementing these Standards, the following definitions take priority over any other interpretations that may exist.

ARC	The Architectural Review Committee
BOARD	The Board of Directors of Fairways at Lake Ridge Homeowners Association, Inc.
DOORS	Points of Entry/Exit to and from the home.
EXTERIOR	Includes outside of home, roof, shrub beds, lawn, and the rest of privately owned property.
EASEMENT	An easement is a property right that gives its holder a non-possessory interest in another person's land.
FENCE	A structure, which is located in dirt/grass and indicates property lines.
FOOTPRINT	The concrete foundation of the home.
HOME	Each home is described in terms to identify location. There is a Front, Back, and Sides of homes. The driveway and mailboxes have been defined as the "FRONT" of the home. The Back faces the back yard. The Sides are self-explanatory.
MULCH	A covering of natural, organic (including living plants) material spread and left on the ground to prevent excessive evaporation or erosion and to enrich the soil.
PLOT PLAN	Overall view of the lot showing the location of the home and property lines.
RAILING	A structure made of wood, vinyl, composite, PVC and is located on a deck or open porch.

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SHRUB BED	The shrub bed is the planted area adjacent to the home. Shrub bed must be maintained from a minimum of 18 inches to a maximum of 36 inches. Shrub bed must be mulched at all times.
SIGHT LINE	The imaginary visual line from the reference object (i.e., roof, roof edge, gutter, etc.) in comparison to the existing building.
SWALES	A wide shallow depression in the ground to channel drainage of storm water.
WALKWAY	The concrete path leading from the driveway to the main entry door.
WINDOWS	All approved windows.

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ELECTRICAL

E-1 LIGHTING AND ELECTRICAL SERVICE

Lighting and/or electrical service of any type is not permitted in the lawn areas. (Exception: Decorations are permitted in lawn area only after the last grass cut of the mowing season. Illumination is permitted.)

E-2 LOW VOLTAGE AND DECORATIVE LIGHTING

Application required

Decorative lights not exceeding 12 volts may be placed along the walkway and in the perimeter shrub beds. Lights can be white or multicolored. Homeowners may use 4, 7, or 18.5-watt maximum lights with a minimum spacing of 5 feet. Total height of fixture may not exceed 18 inches above ground. Lens and/or bulbs must be clear or white. Detailed diagram must accompany application.

E-3 EXTERIOR LIGHTING

Application required

Exterior lighting, including sensor lights and motion detectors require approval by the ARC. Lens and/or bulbs must be clear or white. Such lighting shall not create a distraction or annoyance to neighbors. All lighting shall be properly installed so that it does not respond continuously to animal movements, tree sway, etc. Motion detectors/sensor lights are limited to the rear of the home and the front entry, as well, as above the garage.

Replacement fixtures must be white, black or brass colored and be of like kind (size and design) to the original carriage light configuration. A picture or description of the proposed replacement light must accompany the application.

Only clear or white or during daylight savings time, yellow bug lights are permitted.

E-4 HOLIDAY DECORATIONS

Application not required

Easter, Passover, Halloween, Fourth of July and Thanksgiving decorations may be displayed no sooner than 2 weeks prior to the holiday. For Christmas and Hanukkah, decorations may be displayed 2 weeks prior to Thanksgiving. All decorations must be removed within 2 weeks following the holiday. Seasonal decorations are not necessarily considered holiday decorations. Holiday signs used as decorations should not stand alone and can only be displayed in the shrub bed or in the inside of a window. **Inflatable decorations must be properly anchored.**

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Decorations are permitted in lawn area only after the last grass cut of the mowing season. Illumination is permitted.

Musical ornaments and coverings, including bells are not permitted on the mailboxes. Mailbox posts may have non-illuminated holiday decorations. Subject to US Postal Regulations.

E-5 LAMPPOSTS

Lampposts are not permitted.

E-6 IRRIGATION WELLS

Application required

Wells that provide water for the lawn irrigation system are permitted. Homeowners must submit the application with a survey or plot plan of the property indicating the location of the proposed well on the homeowner's property.

Fiberglass and Polymer tanks are preferred. The well company must put a 3-foot mulch bed around vent pipes on the lawn. Homeowner must put their choice of either boulder shaped box cover or some kind of shrub around vent pipes.

Installation of a well will void the irrigation system warranty.

E-7 LIGHTNING PROTECTION SYSTEM

Application Required

Homeowners are permitted to install a Lightning Protection System (LPS).

All work shall meet or exceed all National Fire Protection Association (NFPA), Underwriters Laboratories (UL), National Electric Code and Lightning Protection Institute (LPI) standards. A permit and inspection of the installation is required by the Lakewood Building Department. Contractor shall be UL listed and certified by the LPI.

E-8 INVISIBLE ELECTRIC FENCES

Application Required

Invisible electric fences for the confinement of domestic pets to homeowner's property are permitted. The homeowner must obtain any required local permits.

Installation of such type invisible fence is confined to the back of the home and up to the back property line of same. Complaints from neighbors on excessive noise or disturbances from pets may result in HOA direction to remove the invisible fence.

The homeowner is responsible for the proper removal of pet excrement and agrees to cause no inconvenience to the lawn maintenance company employed by the HOA or hinder their work in any way. Homeowner holds harmless the HOA and lawn maintenance

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company for any damage to the fence that might occur during normal maintenance of the lawn.

E-9 STANDBY GENERATOR (BOD approved 4/4/2022) Application Required

Subject to the following requirements, standby generators are permitted after receipt of a completed ARC application and subject to a pre-inspection prior to ARC considering the application for approval. There will be no exceptions.

Generators must be installed by a licensed and insured electrician. Lakewood Township construction permits are required and are the homeowner's responsibility to obtain as is the final inspection. Homeowners must submit copies of the Township permits to the Management Office prior to the start of the installation. Township inspection approval(s) must be provided to the management office when received by homeowners. Copies of all Township issued permits and approvals will be maintained in the homeowner file in the Management office.

The manufacturers specifications for the unit along with a copy of a survey of the property showing the distance to the house, windows, doors, air conditioning unit(s), neighbor's side entry front door, and property lines must be submitted with the application. If you do not have a formal survey, your vendor must provide a dimensional diagram.

In addition to State required construction codes, the following criteria must be met:

- a) The unit shall be placed in an unobtrusive area, preferably within a mulch bed, within **18-24 inches** from the side of the home, and not directly across from the neighbor's main entrance door or bedrooms.
- b) The unit cannot interfere with grass mowing, i.e., impede grass cutting with riding mowers.
- c) The unit shall run on natural gas and have a sound output of not more than **80 dB(A) at 23 ft** while operating at normal load.
- d) The unit shall be located with a minimum set-back of **5 feet** from the neighboring property line. The generator shall be 5 feet from windows and doors.
- e) Those units requiring periodic run times must be programmed to run no longer than 10 minutes, not more than once a week (Monday through Friday only, please no weekends), and run between the hours of 10am and 4pm only.
- f) The unit must be located away from doors, windows, and fresh air intakes and be in accordance with all local codes.
- g) The unit's enclosure must be robust, and secured to withstand winds of **100 mph**.

If your contractor indicates that the criteria above cannot be attained, ARC will consider a rooftop solar/backup lithium battery system as an alternate solution. Solar with lithium

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battery backup is a clean energy source which is readily available. Homeowners who wish or need to pursue this option should refer to section S-18 of the ARC Detached Homes Standards in addition to the requirements contained herein. Both Standards require application to and approval from the ARC Committee and would apply to a rooftop solar/backup lithium battery standby power alternative.

Homeowners are advised that not all properties can meet state code requirements for the installation of a standby generator and should verify if a generator can be installed before signing a contract or giving a contractor a deposit.

If a standby generator cannot meet state code and ARC Standards for installation on the property, other options are available to the homeowner for standby power.

LANDSCAPING

The HOA and the ARC encourage the enhancement of landscaping on the residents' property. Well-conceived additional plantings enable us to personalize and to beautify the properties, as well as, promote the ambiance in the neighborhood. Continuing vigilance will enhance the property values.

If planting beds are to be installed, a descriptive drawing of the proposed changes must be provided. It is the homeowner's responsibility to restore the function and integrity of the existing irrigation system.

L-1 SHRUB BED

Application required

Shrub bed must be maintained from a minimum of 18 inches to a maximum of 36 inches from the foundation.

- a) Changes in the size and/or configuration of the shrub bed must be approved by ARC.
- b) Island shrub beds are permitted. Bed must have a minimum of five (5) feet of lawn area around the bed.
- c) Shrub bed must be mulched at all times, and maintained in the natural (or installed) color.
- d) Homeowner is responsible to maintain and trim all plantings, and for weeding all shrub beds. Shrubs must not be higher than the home gutter line.
- e) Hard rubber (**only**) edging shall be permitted along edges of mulch beds. It must be black or brown in color **ONLY**. No plastic or other material is permitted. The edging shall not interfere with grass mowing and/or trimming. Maintenance of the edging is homeowner responsibility. The Association is not responsible for any damage to edging, either by lawnmowers or edgers/trimmers.

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L-2 ADDING TREES OUTSIDE SHRUB BED

Application required

Planting of additional trees on homeowner's property is permitted in accordance with the following conditions:

- a) Detailed drawing must be submitted to the ARC showing the type, number, and exact location of each tree; Refer to APPENDIX A "Suggested Planting Guide"
- b) Trees outside the shrub bed shall be located no less than 6 feet from the front or back of the home.
- c) Planting of trees between homes outside the shrub bed is not permitted.
- d) Trees must be placed not less than 10 feet apart;
- e) All trees must be encompassed within a mulch bed with a minimum radius of 18 inches;
- f) Tree or trees may not be an obstruction or hamper mowing;
- g) Planting of trees in common areas adjoining or bordering upon a homeowner's property requires additional written approval from the Fairways Community Manager.
- h) A drainage easement is in effect on common property in the back of homes on Eagle Ridge Circle between the property lines and the wooded area to the east. Plantings are not permitted within 10 feet of the edge of the drainage area.

L-3 LIVING FENCES

Application required

Living fences are permitted around patios not to exceed 5-feet high. A living fence is defined as any continuous barrier of natural plantings.

L-4 GROUND COVER AND STONES

Application Required

No artificial grass, artificial plants, or other artificial vegetation of any type is permitted.

No alternative ground cover such as decorative stone, impervious material, gravel, aggregate, or other similar landscaping material is permitted.

Delaware River Rock ONLY can be utilized in lieu of mulch in very specific cases with ARC APPROVAL. It must be a minimum of 3" and no more than 5" in diameter. It must be totally contained WITHIN AN ARC APPROVED border (see L-11). The rock must NOT exceed the height of the ARC approved border. An ARC permit will ALWAYS be required for both the containment border and the stone. Unapproved installations will be a violation subject to fines.

Delaware River Rock is an effective means to eliminate mulch washout but be very limited and tightly controlled.

All non-lawn, non-wooded areas must be maintained with mulch (or living plants) except as noted above for Delaware River Rock only.

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L-5 WOODED AREAS

Any natural wooded areas on homeowner's property must be maintained in the original state. Normal maintenance by the homeowner is expected.

L-6 VEGETABLE PLANTING

Application not required

Vegetable plants shall be contained within the 3-foot shrub bed at the back of the dwelling not to exceed 6 feet in length (not behind or around the perimeter of the patio). The height of the vegetable plants may not exceed 4 feet. Wire tomato cages or stakes are permitted.

L-7 DECORATIVE ITEMS FOR LAWN, SHRUB BED, DRIVEWAYS-Application Required

Decorative items are permitted under the following guidelines:

- a) Such items shall be permitted only if they are located within a mulch bed. These items are limited to 24 inches in height.
- b) The mulch bed must be encompassed within a radius of 18 inches.
- c) There will be no more than 6 total items in the shrub beds, unless approved by ARC.
- d) Standard, full sized furniture is not permitted in the mulch bed in the front or side of the home.

Examples of decorative items are:

- a) Sundials
- b) Small benches
- c) Birdbath
- d) Birdhouses
- e) Birdfeeders

Birdhouses, Birdfeeders, and Birdbaths:

Although these items can bring much enjoyment, they can also create a nuisance for your neighbors if not maintained properly.

- a) Birdhouses are permitted in the back of the home only.
- b) Birdfeeders are permitted in the back of the home only.
- c) Birdbaths must be drained and cleaned regularly so as to not create a breeding ground for mosquitoes and other insects.
- d) Complaints from your neighbors may result in the HOA directing you to remove the Birdhouse(s), Birdfeeder(s), or Birdbath(s).

L-8 PLANTERS

Application not required

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Planters are limited to a maximum of 5 gallons in size. Only planters made of plastic, terracotta, concrete, brick or treated wood are permitted.

L-9 TRELLISES

Application not required

Trellises are only permitted under the following guidelines:

- a) Trellises are not permitted in the front of the home;
- b) Trellises shall be parallel and within 6 inches of the side walls or back walls of the home.
- c) No more than 2 trellis units are permitted.
- d) Each unit cannot exceed 6 feet in height and 3 feet in width.
- e) Homeowner shall assure proper upkeep and appearance of the trellis.

L-10 UTILITY BOXES

Application required

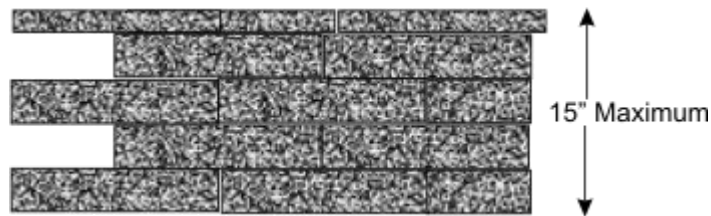
Landscaping around utility boxes in lawn must conform to local supplier requirements. Requirements are available on request from the utility suppliers. A detailed drawing must accompany application. The utility company retains the right to remove such plantings, if necessary, in order to service the utility box.

L-11 DECORATIVE WALLS—See S-10

Application required

Shrub Bed Walls

Decorative walls around shrub beds are permitted with ARC approval. Maximum height for decorative walls is 15 inches. A detailed drawing must be submitted with the application. Drawing must identify materials of construction, size, location, etc. Only brick, slate, fieldstone or similar material is permitted. Wood and/or wood type products are not permitted. Painting of patios and/or use of artificial grass (or similar cover) are not permitted.



L-12 DRAINAGE

Landscaping alterations cannot interfere with established drainage patterns. Each homeowner is required to maintain original slopes, banks, swales, and drainage ways.

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L-13 DRY WELLS AND FRENCH DRAINS

Application required

Homeowners may install dry wells and/or French drains in order to alleviate poor lawn drainage on their private property. A detailed description of the proposed system must be submitted with the ARC application.

The system shall not interfere with any existing yard drains, drain inlets, swales and underground drainage systems installed by the builder. Dry well stones must be below ground level (not visible) and cannot hamper mowing or cause damage.

L-14 ARBORS

Application required

Arbors are permitted and must be located next to the patio within a mulch bed. The size of the arbor cannot exceed 30 inches deep, 48 inches across, and 7 feet above ground. The arbor shall be fabricated of wood, vinyl, composite, or plastic in white or wood tone and must be firmly secured in accordance with the manufacturer's instructions. The arbor must be maintained at all times.

L-15 ENTRY PORTICO

Application required

Portico area is limited to that space just before the primary entry door. Examples of items that are considered appropriate for display include chairs, benches, planters, flower displays, and milk cans. All items displayed must be maintained and visually aesthetic.

L-16 PONDS

Application required

Homeowners may install decorative ponds at the rear of their homes subject to the following conditions:

- a) The pond shall be set into the ground. Above-the-ground ponds or ponds located on the patio or deck are not permitted.
- b) The depth of the pond is not to exceed 18" in depth and 100 gallons in capacity.
- c) The pond shall be installed within a planting bed adjacent to the home or patio and shall not impede mowing.
- d) The top of the pond shall be flush with the ground level. It could have an appropriate border size height of not more than 6 inches.
- e) A Lakewood Township permit for the electric pump is required and *a copy of permit must be submitted to the Management Office for homeowner's file.*

L-17 FOUNTAINS AND WATERFALLS

Application required

Fountains, while enjoyable, can create a nuisance for your neighbors, if not properly maintained. Complaints by your neighbors, because of noise or neglect, may result in the HOA directing you to remove your fountain or waterfall.

- a) Fountains or waterfalls are permitted in foundation shrub beds only.
- b) A Lakewood Township permit for the electric pump is required and a copy of permit must be submitted to the Management office for homeowner's file.

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L-18 ASSOCIATION COMMON PROPERTY

Homeowners are **not** permitted to improve Association common property.

HOME AND PRIVATELY OWNED PROPERTY

P-1 PATIO CHANGES AND INSTALLATIONS

Application required

All new patio installations and modifications to existing patios require approval of the ARC. A detailed drawing and copy of a marked plot plan must accompany the application. The plot plan must show the existing and proposed patio layout and the proximity to property lines.

Patio changes will be reviewed based upon the layout with respect to property lines, proximity to common areas, impact upon drainage, and maintenance.

The patio must set back 20 feet or more from the back property line. New patios and extensions cannot extend beyond the width of the foundation and must abut to the back of the home.

- a) Drawings submitted with the ARC application must delineate the overall dimensions and the depth and composition of the materials used for construction.
- b) A minimum of 4 inches of concrete is required with proper reinforcement materials.
- c) Concrete, pavers are permitted.
- d) Extensions must be level with existing patio. A provision must also be made to ensure that the drop-off from the patio to the lawn meets Lakewood code and requisite safety requirements.
- e) Any extension must be laid out in such a manner that it does not hamper lawn mowing.
- f) Construction must conform to local construction code requirements.
- g) Obtaining of all necessary town permits is the responsibility of the homeowner and a copy of permit must be submitted to the Management's Office for homeowner's file.

P-1.1 Patio Walls

Application required

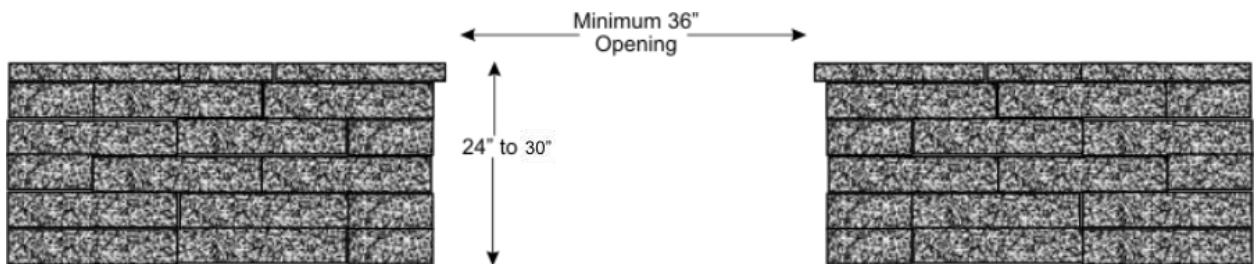
Decorative stone walls around patios are permitted with ARC approval provided that the following conditions are satisfied:

- a) An ARC inspection must be performed by a member of the ARC Committee prior to any work being done.
- b) The wall must be of a stable design and construction and its height above the patio level shall be between 24 and 30 inches.

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- c) The walls and its concrete footings are to be outside the perimeter (border) of the new or existing patio.
- d) The walls are not to be attached to the home and must not extend outside the width of the home.
- e) At least one opening in the wall of at least 36 inches wide must be provided to allow for entry to and exit from the patio. This opening must be kept clear of plantings or obstacles that will prevent easy patio egress.
- f) Provisions for drainage are required.
- g) Detailed design plans and construction materials are submitted with the application.

Painting of patios and/or use of artificial grass (or similar cover) are not permitted. Translucent concrete protection substances are permitted.



P-2 DRIVEWAYS

Application required

Driveway construction shall be limited to the use of asphalt and shall match the original driveway in appearance. Driveways may be widened on either or both sides but may not extend beyond the total width of the garage. Driveway curbing is not permitted. Decorative pavers along driveway must be flush with driveway and shall not exceed the width of the garage. Decorative pavers shall not exceed standard-sized pavers 2 1/4" thick, 4" wide, 8" long. Driveway and decorative paver maintenance is the responsibility of the homeowner. Driveways blacktopped/sealing is permitted. This should help prevent deterioration and discoloration.

NOTE that blacktopped/sealing is merely a thin top-coat on the driveway and is prone to wear and deterioration. The top-coat is often scrapped off partially or entirely during snow/ice remediation of driveways. The contractor is not responsible for preserving the top-coat.

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P-3 AWNINGS

Application required

Retractable awnings are permitted (an emergency manual retractor is required for motorized awnings). The placement of an awning is restricted to the back of the residence covering the patio area.

Primary color must match the color of the home or trim. Awnings requiring **vertical supports are not permitted**. Homeowner must maintain appearance of awning. Torn or faded awnings must be repaired, replaced, or removed (including hardware). A sample of the awning must accompany application.

Window awnings are not permitted. Permanent non-retractable awnings and patio covers are not permitted.

ELECTRIC SAFETY REQUIREMENTS FOR MOTORIZED AWNINGS

- a) Ideally, a UL approved wire is placed inside the wall connected to an inside switch OR;
- b) If the wire is to remain outside the home, it must:
 - a Be UL approved for exterior use
 - b The plug should also be UL approved and be inserted into a UL approved exterior outlet with a cover.
- c) It is preferable, although not required, that an exterior wire be placed into a protective plastic or metal conduit which in turn is attached to the home.

P-4 COLOR CHANGES (exterior home painting)

Application required

Alternate color schemes are available for each existing home model. An approved color chart is available at the Management Office. All areas to be repainted must be adequately prepared and maintained to prevent peeling or other deterioration.

Garage and exterior doors may be painted white. Shutters may remain the original (or approved alternate color) or be painted white.

APPROVED COLOR COMBINATIONS (see Management Office)

	<u>GARAGE DOOR</u>	<u>EXTERIOR DOORS</u>	<u>SHUTTERS</u>
a.	white/ivory	white/ivory	white/ivory or original*
b.	white/ivory	original*	original*
c.	original*	original*	original*

* Approved alternate colors may be used

Painting of foundation is not permitted.

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Painting of utility boxes mounted to the home is permitted. Color must match existing home color.

All wood structures (deck, stairs, and railings) must be pressure treated only; and shall be properly treated with a natural water resistant stain or protective oil stain in natural wood tone only. Painting is not permitted.

Screen panels under garage doors are permitted and are limited to 2 feet in height. Screen trim must match existing garage door color.

P-5 STORM/SCREEN DOORS

Application required

Storm and screen doors are permitted. Doorframes shall be either vinyl or aluminum. Color must be white, almond, or match the color of the entry door. A sample of the color must accompany the application. Storm doors must be minimum 50% glass. Only clear non-colored glass is permitted. Jalousie style doors are not permitted. Any grillwork on door must match existing window design. Manufacturer's description of door must accompany application.

P-6 SCREEN PANELS (GARAGE DOORS)

Application not required

Screen panels under garage doors are permitted and are limited to 2 feet in height. Screen trim must match existing garage door color.

P-7 WINDOW BOXES

Window boxes attached to the home are permitted. They are not to exceed the width of the window, are white, the color of the home trim, natural, or black cast iron.

P-8 FLAGS, FLAG POLES & WIND SOCKS

Application required

Flags not exceeding 3 feet by 5 feet are permitted. The flag must be mounted on either side of, or in between the garage door at a minimum of 5 feet above the ground, Mounting is preferred above the garage on a keystone plaque, or on the front entry column.

No more than one flag may be displayed at one time. Flags are limited to American, holiday, or seasonal. Religious, ethnic, or political flags are not permitted.

Freestanding flagpoles are permitted in detached homes only. The pole must be removable and located only in the shrub bed directly in front of the home, facing the street. Total height is limited to 12 feet above the ground and the diameter to 2 inches. The pole must be sturdy and installed in a sleeve anchored firmly in the ground. Aluminum composite, and fiberglass poles are approved pole materials. Aluminum poles shall be anodized or white powder-coated to prevent corrosion and

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discoloration. The flagpole shall be firmly secured vertically with no sway under normal breeze conditions. Embedding the sleeve in concrete and locking the pole in the sleeve are acceptable means of installation. Sleeves that are installed flush to the ground shall be plugged or covered when not in use to prevent backfilling of the sleeve.

Flagpoles must be maintained in good condition. In conformance with proper flag etiquette, the flag is not to drape or touch any shrubs or any other objects in the garden bed.

Windssocks are not permitted.

All government regulations concerning the display of flags must be followed.

P-9 MAILBOXES, MAILBOX POSTS AND NEWSPAPER SLEEVES

A replacement mailbox and or post identical to the original post and positioned in the same location of the original post do not require an Application or Permit.

Maintenance and/or replacement of the mailboxes, posts, and newspaper sleeves are the responsibility of the homeowner. The Management Office maintains a list of contractors that are equipped to provide replacement services.

P-9.1 Mailboxes

Application not required

- a) Replacements must be similar in shape and size to the original. The body of the mailbox can only be white in color. Other than original mail boxes must be of white powder coated aluminum construction.
- b) Home number **MUST** be on mailbox and visible at all times.
- c) Four-inch numerals on each side of the mailbox are required. Black block numerals 4 inches in height are available at the Management Office. Luminous numbers are permitted.

P-9.2 Mailbox Posts:

- a) Replacement mailbox posts must be identical to the original post or of a white powder coated aluminum and be positioned in the exact location of the original post.
- b) Painting or staining of the mailbox post is not permitted, clear wood treatment only is permitted.
- c) Mailbox posts may have non-illuminated holiday decorations. Subject to US Postal Regulations.
- b) Decorative planting is permitted around the mailbox post; subject to US Postal Regulations.

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- c) Maximum area around the mailbox post is 25 square feet.
- d) A detailed drawing must accompany application.

P-9.3 Newspaper Sleeves:

White plastic or aluminum powder coated newspaper sleeves must be used for replacement. They can be mounted alongside the post or under the mailbox.

P-10 WIND CHIMES

Application not required

Wind chimes are permitted at the back of the home only, provided sound level is not offensive to neighbors. Excessive noise level will require dampening or removal.

P-11 HOME NUMBERS

Application not required

Home numbers (numerals only) are permitted and must be placed centered above the garage door or on front entry column facing the street. They are also permitted at the main entry, and shall not exceed 4 inches in height. Luminous numbers are permitted. Home numbers are also displayed on the mailbox.

P-12 STORAGE STRUCTURES

Application required

Sheds, storage closets, bins and other large storage structures are not permitted.

- a) A cushion storage box may be kept on the patio as long as it is not larger than 5 feet long, 3 feet high, and 30 inches wide. Maximum is one unit per patio or deck.
- b) Items placed on the patio may not be unsightly or offensive to the community. Patio furniture and BBQ grills may remain on the patio during the off-season provided they are properly covered and secured.
- c) A small amount of firewood, not to exceed 1/8 cord, may be stored on the patio if contained within a fixture that is commercially available for that purpose.

P-13 GAS GRILLS – Permanent

Application required

Permanent gas grills are permitted on the patio or deck. Installation of a permanent gas line must meet all requirements of both Lakewood Township and the utility supplier. All necessary permits are the homeowner's responsibility and a copy of permits must be submitted to the Management Office for homeowner's file.

Any permanent patio gas grill cannot exceed 5 feet on each side and be within the side sight line of the home. Maximum height for total structure is 4 feet.

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P-14 FENCES

Application required

Only fences installed by the builder are permitted. Replacements must be identical to the original. No other fences of any type are permitted.

P14.1 ORNAMENTAL BORDERS

Application required

Ornamental borders are permitted as follows:

- a) Ornamental borders may be installed in the **rear (only)** of detached homes around patios or mulch beds at the foundation of the home.
- b) Ornamental borders shall not be installed around free-standing mulched islands or in any area not contiguous with the patio or foundation mulch bed.
- c) They must be constructed of a sturdy material such as wrought iron, aluminum or vinyl (**no wood**).
- d) They should be black or an earth tone color to include tans/browns. **The color selection must accompany the ARC application and is subject to ARC approval.**
- e) The height of the ornamental borders **must not exceed 18"**. There are no exceptions.
- f) Maintenance of the ornamental border is homeowner responsibility. The Association is NOT responsible for any damage from lawnmowers or trimmers.
- g) The ornamental border shall not interfere with grass mowing and/or trimming.
- h) Ornamental borders are not permitted for confinement of domestic pets.
- i) Complaints from neighbors on excessive noise or disturbances from pets may result in HOA direction to remove the ornamental border.

P-15 AIR CONDITIONERS (BOD APPROVED 01/24/22) APPLICATION REQUIRED

Depending on the original model specification of every Fairways home, either one or two central HVAC systems were installed to provide sufficient flow of heated and cooled air to the living spaces within the home. Each detached residential structure is permitted **not more than one** additional system over and above originally installed equipment, to include the original exterior condenser/compressor unit(s), for the purpose of heating and cooling an area or areas not previously heated and cooled. This **single/one additional system** may be either a central system or a mini-split system subject to the conditions listed below:

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- A. Written proof from a licensed architect or engineer that the existing system is insufficient to heat and cool the space to be altered. This should include a detailed explanation about why the existing system is insufficient **OR**;
- B. Written proof from a licensed architect or engineer that there are structural impediments that prevent the extension of the existing system to the area that is to be heated and cooled. This proof should include a detailed explanation of the structural impediments **OR**;
- C. A written certification from a licensed installer in lieu of an architect or engineer is acceptable and is always required for porch and screen room conversions.
- D. A written assessment stating the decibel output (expected noise) resulting from the proposed system. A manufacturer's specification is preferred.
- E. A plot plan of the property and residential structure indicating the proposed location of any required pad or other exterior component.
- F. No unit may be installed opposite the bedrooms of an adjacent property nor opposite the side front entry of an adjacent property.
- G. Proof of written notice to the adjacent property owners that an application for a separate unit has been, or will be, presented to the Architectural Review Committee. The purpose of this notice is to provide the adjacent property owners an opportunity to appear before the ARC Committee with any comments about the installation. The adjacent property owners may **not** request a denial.
- H. There is a strict limitation to no more than one add-on HVAC system. There are no exceptions.
- I. All applications to ARC for additional HVAC must be accompanied by all required documentation as indicated above **including Lakewood Township permits**. There will be no exceptions.

This standard includes any proposed conversions of porches, screen rooms or other spaces not previously heated and cooled (See Structural Standards S-1 through S-4). Nothing in this standard is to preclude a homeowner from increasing the size of an existing system equipment to satisfy the need or desired effect. All required documentation is still necessary.

Note: Existing systems installed prior to the adoption of this standard by the Board of Directors, **only where a valid permit was issued by the Association**, will be grandfathered, and can remain in place. No more add-on HVAC systems will be permitted.

Note: Applications for a system that have been denied may resubmit an application, subject to full compliance with all requirements in this revised standard, **after the date of adoption of this standard by the Board of Directors**.

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Window or “through wall” air conditioner units are **not** permitted.

It is a violation to perform any exterior work prior to submitting an ARC application, receiving ARC approval and an ARC permit. Please allow sufficient processing time. Incomplete applications will be tabled for review at the next monthly meeting. The Management Office can assist with any questions. Permits from the Township of Lakewood Construction Office for interior work **DO NOT preclude submitting an application to ARC for approval and a permit to do all exterior work that may occur as part of the interior project.**

P-15.1 FANS (BOD APPROVED 1/24/22)

APPLICATION REQUIRED

The installation of attic fans should be performed by a licensed and insured electrician. We caution homeowners that attic fan installation may void any warranties against leaks.

Permitted fans include:

- A. Roof or mushroom fans
- B. Louver fans in the attic space but not to exceed the existing grill area.

P-16 SWIMMING POOLS

Pools, spas, and/or hot tubs are not permitted on the exterior of the home.

P-17 CLOTHES LINES

Clothes, sheets, or laundry of any kind are not permitted to be hung outdoors. Laundry may be hung to dry in the garage. The garage door may be kept in a partially open position not to exceed 2 feet. Screen panels under garage doors are permitted and are limited to 2 feet in height. Screen trim must match existing garage door color.

P-18 SATELLITE RECEIVERS/EXTERNAL ANTENNA

Application not required

Antennas mounted on the exterior of a dwelling or elsewhere on the property are not permitted with the exception of a satellite dish antenna. An ARC application is not required for the installation of satellite dish antenna on a detached home.

- a) The dish shall be one meter (39.3 inches) in diameter or smaller.
- b) While there are no restrictions regarding the location of the dish on the property, it is requested that the homeowner locate the dish in one of the following preferred locations: (a) on the ground within 3-foot perimeter of the side or back of the home or (b) mounted on the side or back of the home.
- c) Mounting on the front of the home is not desired.

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Please note that these rules do not apply to courtyard units. Special rules governed by the FCC (Federal Communications Commission) apply to these units. Applications for satellite dish antenna installation for these units are required and will be reviewed by the ARC on an individual basis for conformance with the FCC rules and guidelines.

P-19 FIRE PITS:

Free standing fire pits are permitted only in the back of the home on a patio. A maximum width of the fire pit is 3 feet, and fuel is restricted to propane or natural gas. The fire pit must set back no less than 3 feet from the home.

STRUCTURAL

S-1 BUILDING ADDITIONS

Application and checklist required

(SEE S-2, S-3, S-4)

a) Applicant must obtain and submit necessary town permits to the Management Office for homeowner's file.

b) Applicant must submit a fully dimensioned scale drawing.

c) Drawing must detail the following items:

1. The addition or modification
2. The framing
3. The roofing
4. The siding
5. The gutters and leaders
6. The screen design and framing
7. The windows and doors including framing
8. All other externally visible features and components
9. Elevations of all exposed sides including comparison to existing roof lines.
10. Concrete footings for vertical support

d) Requirements

1. Roof pitch and roof shingles must match existing home structure;
2. Siding must match existing home in design and color;
3. Aluminum, composite, or vinyl wrap on fascia's, posts, etc. must match existing home trim;
4. New roof must not extend beyond fascia line of existing structure;
5. New doors and frames shall have the same panel design as the existing doors. Glass in doors must be arranged in the same panel design as existing doors;

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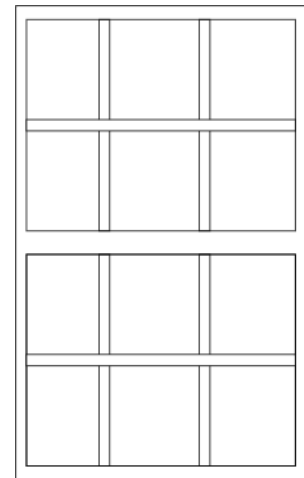
6. Windows must be white vinyl plastic or composite, single, or double hung, incorporating same colonial six over six-panel design as existing exterior windows.
7. Room extensions cannot extend beyond the model footprint.
8. All modifications must conform to the model of the home. An example is that only 1st floor modifications are only permitted on single story homes. Second story modifications are only permitted on 2 story homes.
9. A copy of the lot survey or plot plan must be included indicating conformance to setback requirements.
9. Building additions must set back 20 feet or more from the back property lines. Applications with less clearance are not permitted and will be rejected.
10. Completed ARC Checklist for open screen and enclosed porches must accompany the application. The name of the contractor is required.

S-2 PORCHES - SCREENED (not heated)

Application and Checklist (6B & 6C) required

In addition to the requirements indicated in **S-1 Building Additions**, screens shall be detailed showing type, subdivisions, frames, materials, and color. Portable clear plastic panels may be installed over screens. Panel frames must be white.

Porches may also be fitted with permanent interior clear plastic or glass windows of either single or double hung or side to side sliders types. These **permanent** windows are encouraged to have the required grids 6 over 6 for single or double hung types that match existing home windows or 6 alongside for sliding type windows, but windows without grids are permitted. Window frames must be white.



Temporary interior removable clear plastic or glass panels with or without grids may be fitted.

Doors must meet the requirements in S-6 Exterior Door and P5 Storm/Screen Doors.

S-3 PORCHES - OPEN (also S-1)

Application and checklist required

Open porches shall meet the requirements of S-1 Building Additions. The exterior of open porches must have siding to match the home siding. Roof support posts shall have concrete footings and shall be aluminum or vinyl clad to match the home

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color. Roof support posts shall have concrete footings and shall be aluminum, composite or vinyl clad to match the home trim.

Ground level open porches may be left open between support posts. Above grade open porches to be fitted with railings between support posts. Railings shall be aluminum or vinyl plastic and have a white finish. Railings shall be limited to 36-42 inches in height with balusters not more than 4 inches on center. Detailed diagram must accompany application.

S-4 PORCHES - ENCLOSED (also S-1) **Application and check list required**

Enclosed structures other than unheated screened porches and open porches must meet all the requirements of S-1 Building Additions. Detailed diagram must accompany application.

S-5 DECKS **Application required**

Decks are permitted only in the back of the home. Decks are elevated for homes with basements. Decks are at ground level for homes without basements. The deck structure including stairs shall not extend to within 20 feet of the back property line and beyond the width of the home. A permit from the Township of Lakewood is required for all decks and permits must be submitted to the Management Office for homeowner' s file.

Decks can be fabricated using composite, plastic, fiberglass, redwood, cedar, or pressure treated wood and non-corrosive fasteners. Railings shall be limited to 36 – 42 inches in height and baluster spacing to 4 inches.

All wood decks/railings shall be properly treated with a natural water-resistant stain or protective oil stain in natural wood tone only. Painting is not permitted.

S-6 DOORS - EXTERIOR

S-6.1 Entry Doors.

1. **FRONT DOOR - Primary Entry Door.** The door located at the front or side of the home, depending upon the model, where the walkway is installed by the builder. Entry is to the living quarters of the home.
2. **BACK DOOR - Secondary Entry Door.** The door located in the back of the home. Entry is to the living quarters or porch of the home.
3. **GARAGE DOOR - Tertiary Entry Door.** The Garage door or the side door to the garage. Entry is to the garage of the home.
4. **STORM/SCREEN DOOR – Entry Doors.** **Application required**

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Storm doors and screen doors are permitted with entry doors.

Doorframes shall be vinyl, composite, or aluminum. Color shall be white, almond, or match the color of the entry door. A sample of the color must accompany the application.

Storm Door must be a minimum 50% glass. Only clear, non-colored glass is permitted. Jalousie type doors are not permitted. Any grill work on door must match existing window design.

Manufacturer's description of door must accompany application.

5. Entry Doors are permitted as entry/exit to the ground floor level of the home only, and are not permitted as entry ways to the second floor or basement.

S-6.2 BASEMENT DOOR.

1. Passageways to the basement are by way of Interior doors only. The single exception is a Bilco door as part of the original construction.
2. Bilco doors are not permitted as add-on items.
3. No other exterior doors are permitted in keeping with the model design.

S-6.3 EXTERIOR DOORS REPLACEMENT Application required

- a) The door may be identical to the original door or be leaded glass type.
- b) The door must be equal to, or similar to, the ones presently authorized for the homes at the Master Collection (Section 12). Photos are on file at the Management Office.
- c) The door may be painted the color of the trim for your home or be wood or wood-tone. A picture of the proposed door must be submitted to ARC for approval.
- d) Existing exterior doors to patio and porch enclosures may be replaced with sliding glass panel or double "French" doors. Sliding doors shall be white solid vinyl or composite.
- e) Single or hinged double "French" door assemblies may be insulated steel painted white or the color of the existing rear door.
- f) Garage side entry doors may be installed using matching 9 light insulated steel doors.
- g) Door must be same color as existing exterior entry door.
- h) Jalousie type doors are not permitted.

S-6.4 EXTERIOR DOOR ATTACHMENTS Application not required

Brass nameplates, kick plates, and doorknockers are permitted. Nameplates shall not exceed 3 inches in height by 7 inches in length. Kick plates shall not exceed 8 inches in height.

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S-6.5 GARAGE DOORS

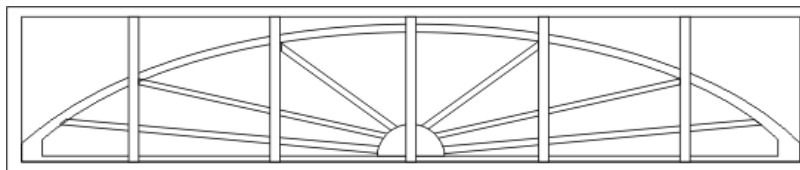
Application required

- a) Replacement garage doors are limited in size, design and an approved color. Garage doors may be solid (no window) or with window. Clip-on design patterns are permitted. If two garage doors, both must match each other i.e., same color, same window and design pattern.
- b) Screen panels under garage doors are permitted and are limited to 2 feet in height. Screen trim must match existing garage door color.

S-7 WINDOWS (See P4 Color Chart)

Application required

- a) Additional windows must meet the requirements for windows described in S-1 Building Additions.
- b) Replacement windows are limited to size, materials, color and six panel grids as the original. No changes in size of window(s) are permitted.
- c) Windows can be single or double hung.
- c) A glass from the window manufacturer that has a subtle coloring (usually grey, bronze or green) to protect a home's interior from direct sunlight is permitted.
- d) Replacement clear plastic panels and glass windows in screened porches must meet the requirements indicated in S-2 Screened Porches.
- e) Standard 12x23 basement windows are permitted when installed by the initial builder.
- f) Egress basement windows shall not be added and are not permitted.
- g) Garage doors windows: Replacement doors are limited in size, design and an approved color. See S-6 Garage Doors for permitted windows and design panels. If two garage doors, both must match each other i.e., same color, same window.
- h) One window panel may be installed as the top panel of the garage door. Window panel design must be submitted with application. Only clear non-etched glass is permitted.



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SAMPLE - TYPICAL GARAGE WINDOW PANEL

S-8 GARDEN WINDOWS

Application required

A garden window is permitted as replacement for a side window. A detailed description of window must accompany application.

S-9 WALKWAYS

Application required

New and extended walkways are permitted when meeting the following criteria:

- a) Extended walkways installed at homes with side entrances shall continue line of the existing entryway to the back of the structure;
- b) Walkway must be level and parallel to the existing structure;
- c) Walkways may be constructed of **poured reinforced concrete** at least 4 inches thick;
- d) Block or pavers without a concrete pour is also permitted. The homeowner is restricted from making claim for damages done to the pavers by association contractors;
- e) A maximum planting space of 18 inches may be maintained between the walkways and the existing structure
- f) Walkway curbing is not permitted on the lawn side of the walkway.
- g) Lakewood Township permits are the responsibility of the homeowner and must be submitted to the Management Office for homeowner's file.

A detailed diagram must accompany application.

S-10 PAVERS

Application Required

Pavers are permitted for use in the front or side entry and rear of the home. It is suggested that the color of the pavers complement the exterior of the home. Decorative pavers shall not exceed standard-sized pavers of 2 1/4" thick, 4" wide, 8" long. See also P-2 (Driveways Decorative Pavers).

S-10.1 BACK OF THE HOME

- a) Pavers can be placed on top of the cement patio
- b) Paves can be used to replace a cement patio
- c) Pavers can be an extension around the patio
- d) Pavers can be placed as a border around a tree or free-standing island
- e) Pavers must be flush with the ground level
- f) Pavers must not interfere with mowing
- g) Diagram is required as part of the application

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S-10.2 FRONT OR SIDE OF THE HOME ENTRY

- a) Pavers can be placed as a border around shrubs
- b) Pavers can be placed as a border on either side of cement walkways leading to the front or side entry.
- c) Pavers are not to extend onto the lawn
- d) Pavers are not to extend beyond the garage front area, except the 18" strip for Fairway Models II, III, & IV.
- e) Pavers cannot be used on top of driveway
- f) Pavers cannot interfere with mowing or snow removal
- g) Pavers must be flush with the ground level
- h) Diagram required as part of application
- i) An expanded walkway is permitted that is all block or pavers without a concrete pour. The homeowner is restricted from making claim for damages done to the pavers by association contractors.
- j) Block or paver walks without a concrete pour is also permitted. The homeowner is restricted from making claim for damages done to the pavers by association contractors.

S-11 SHUTTERS

Application required

Raised panel shutters, both additional and replacement, are permitted. For additional shutters, a plan of the home indicating the proposed locations and shutter size must be submitted for approval.

Shutters shall be of standard width (15 inches) and window height. Design style of shutters must match existing shutters on home. See P-5 for color options.

Shutters added to homes without any shutters must match design and style of original Fairways shutters. See P-5 for color options.

S-12 FIREPLACES

Application required

Any device requiring outside ventilation must have ARC approval. Detailed description must accompany application. Any required township permits are the responsibility of the homeowner.

S-13 PERGOLAS

Application Required

- a) Must be in the back of the home.
- b) Must be placed on the patio or deck and permanently anchored.
- c) Anchoring must adhere to one of the following:
 - 1. Concrete footings (Requires a Lakewood Township construction permit)
 - 2. Anchor to an installed concrete slab/pad

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3. Appropriate wood or composite anchor
- d) Pergolas cannot be anchored directly to pavers **unless there is a concrete patio slab/pad under the pavers for anchoring.**
 - e) Pre-inspection may be required depending on the anchoring device indicated on the ARC application.
 - f) The pergola frame should be of vinyl, composite, wood, or aluminum and must match the siding of the home or deck. They also may be white or earth tone colors to include tans/browns. **Color subject to ARC approval.**
 - g) Permanent coverings are not permitted.
 - h) No privacy coverings are permitted.
 - i) Plant coverings are not permitted.
 - j) Maximum size of pergolas is 12 x 12 (144 square feet)
 - k) Roll-up shades (only) will be permitted **subject to pre-approval by ARC.** Roll-up shades are to be used for UV protection only and must be an open weave fabric that is light and breathable. Roll-up shades may **not** be blackout material. Home owner is responsible for cleaning and maintenance.
 - l) Pergolas are **permanent** structures that may be temporarily converted to a Sukkah only for the Sukkot holiday and **only with ARC approval. No other temporary use of a pergola will be permitted. All standards/requirements for Sukkah's (S-19.2) must be followed. ARC applications for temporary use, as well as inspections, are required.**

S-14 RE-SHINGLING OF ROOFS

Application Required

When replacing roof shingles, they should be of the same texture and color of existing homes in the community. It is understood that minor spot repairs to the roof are often needed re-shingling. This is permitted. Three tab and dimensional shingles are permitted. Samples or color charts must be submitted with the application. A permit from Lakewood Township is **not** required.

REPLACING ROOF

Application Required

When replacing partial or full roof, the shingles shall be the same texture and color of existing homes in the community. Three tab and dimensional shingles are permitted. Samples or color charts must be submitted with the application. A permit from Lakewood Township **is not** required.

S-15 SKYLIGHTS AND SOLAR TUBES

Application required

Roof skylights and solar tubes are permitted. A plan of the home indicating the proposed location for the units must be submitted for approval. The manufacture's specification must be included with the plan submission.

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Skylights may not exceed 12 square feet in area. Solar tubes may not exceed 16 inches in diameter. Color of skylight frame and trim and solar tube rings must be compatible with the color of roof shingles or fascia.

Installation will void builder and/or association warranty against leaks in the area of the roof penetration(s)

S-16 SOLAR HOT WATER HEATING INSTALLATIONS ON ROOF **Application Required**

System shall meet standards for certification by the Solar Rating & Certification Corporation (SRCC). Resident/Contractor is required to obtain LAKEWOOD TOWNSHIP PERMIT PACKAGE that includes a Building Sub code and Electrical Sub code. Lakewood Township further requires a follow-up inspection Certificate of Approval (CA). Resident must provide a copy of the CA to ARC for Final Inspection.

Solar collectors shall not be installed elsewhere on the ground, building or on a support structure on homeowner's property

S-17 SOLAR POWERED ATTIC FANS **Application Required**

Application required – Unless solar panel shall be mounted flat on roof or on fan hood. Solar powered attic fans are permitted.

S-18 SOLAR POWER PANEL INSTALLATIONS ON ROOF **Application Required**

Re/Contractor is required to obtain LAKEWOOD TOWNSHIP PERMIT PACKAGE that includes a Building Sub code and Electrical Sub code Lakewood Township further requires a follow-up inspection Certificate of Approval (CA). Resident must provide a CA to ARC for Final Inspection.

In addition, the resident shall be guided by the following: The resident shall properly maintain solar panels and ancillary equipment. Any damaged panels shall be promptly replaced or repaired.

Solar panels shall not be installed elsewhere on the ground, building or on a support structure on homeowner's property.

S-19 OTHER STRUCTURE

No structures of any type are permitted unless otherwise specifically defined by this document and approved by application to the ARC Committee. Unapproved other structures will be a violation subject to fines.

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S-19.1 OTHER STRUCTURE – TENT

Application required

Requirements for approval of Tent:

ALL APPLICATIONS MUST FIRST GO TO THE BOARD OF DIRECTORS FOR APPROVAL AT LEAST EIGHT (8) WEEKS PRIOR TO THE EVENT

- a) An ARC application is required to be submitted to ARC each time that a tent is requested. This is in keeping with the ability of ARC to determine, by inspection, if the quality, stability, and safety of the proposed tent is acceptable. We request that applications for permits be submitted eight (8) weeks before the event (see # 11 below).
1. The ARC Committee reserves the right to inspect the tent installation and/or perform spot inspections. Key points of inspection would include, but are not limited to, the anchoring of the device and the quality and construction of the tent.
 2. The tent shall be of sturdy construction, manufactured for the intended use, be able to fasten to permanent anchors and needs to be anchored to sufficiently withstand wind gusts at a minimum of 40 MPH.
 3. The tent product description shall accompany the ARC application including make and model of the tent, and a picture of the fully erected structure.
 4. If ARC performs an inspection and finds that the proposed tent does not meet or exceed ARC standards, a violation notice will be sent.
 5. Tents are permitted only on and within the boundaries of a homeowner's property lines and only in the rear of the home. See Restrictions for tents a) below.
 6. Applicant must agree to all restrictions prior to any permit being granted.
 7. ARC applications for tents must include proof of insurance from applicant's insurance company stating that applicant has sufficient insurance coverage for any damages caused by the tent.
 8. Homeowners must understand that if the tent impedes access to the property for lawn services provided by the Association's contractor, the contractor has discretion regarding providing services (or not). If services are not performed by the Association contractor, the contractor will not return until the next regularly scheduled service cycle.
 9. Homeowners must understand that, while ARC receives the applications and makes recommendations to the Board, final approval for the tent is at the Board of Director's discretion.
 10. Homeowners must allow sufficient time for processing the ARC application, sending the ARC Committee recommendation to the Board of Directors, the Board of Directors to approve or deny the application. The cycle for this activity runs an eight (8) week timeline.

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RESTRICTIONS FOR TENTS:

- a) Shall be permitted only within the boundaries of a homeowner's property lines and only in the rear of the home. It must not encroach upon a neighbor's property nor common property and/or tree save areas. Only one (1) tent is permitted per property.
- b) Must setback A MINIMUM OF 2 FEET from the back property line.
- c) IF THE TENT COVERS ANY PORTION OF THE PATIO, set back should be 3 feet or more from the back of the home to allow safe ingress/egress from the back door of the home. This is a safety concern.
- d) Home-made tents are not permitted.
- e) A maximum size of 12' x 12' (144 square feet in total).
- f) Color of the tent must be neutral such as white, beige.
- g) Tent material must be fire retardant. NO WOOD STRUCTURES ARE PERMITTED.
- h) Plumbing is not permitted in the tent.
- i) Electric power source for lighting and other electric powered devices are permitted provided that the power source is a permanent exterior GFI outlet or a GFI protected extension cord.
- j) No devices with open flames are permitted.
- k) Applicant shall adhere to all Lakewood Township noise abatement regulations.
- l) Tents are permitted for a maximum duration of five (5) calendar days. This includes set-up, the event, and removal.
- m) Residents with an unapproved tent installation will receive a phone call from the Management Office directing the immediate removal of the unauthorized structure.
 - i. Failure to comply with this direction shall result in an assessment to the homeowner, the amount of the maximum permitted daily fine, for each day that the structure is not removed.
 - ii. The amount of the maximum permitted daily fine is defined in the Association Governing Documents.
 - iii. Repeated violations shall be subject to legal action by the Association.
 - iv. Any tent that is installed must be the size requested in the ARC application for permit or owner is in violation and subject to all remedies available to the Association to resolve the matter.

S-19.2 SUKKAH:

Application required

Requirements for approval of Sukkah:

- a) An ARC application is required to be submitted to ARC **at least 2 months before the holiday**, each time that Sukkah is requested. This is in keeping with the ability of ARC to approve applications, determine by inspection, the quality, stability, and safety of the proposed Sukkah.

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1. Key points of inspection shall include but are not limited to the anchoring device or method of securing the Sukkah, the location of the Sukkah on the property, and the quality and construction of the manufactured structure.
2. The anchoring devices for approved Sukkahs vary by design.
 - i. Permanent, In-ground or outside wall anchoring devices are permitted and preferred for all Sukkahs.
 - ii. Light, fabric type Sukkahs are self-contained units that employ the use of weighted objects such as 25 lb. weight bags placed at all 4 interior corners of the Sukkah. The placement of weight bags or other like devices positioned on the corner receptacles at the inside 4 corners of the Sukkah is sufficient to withstand wind gusts up to 40 mph. This anchoring method is permitted for light fabric structures.
3. The proposed Sukkah shall be of sturdy construction, manufactured for the intended use, be able to fasten to permanent anchors, or for lighter fabric type Sukkahs be anchored by other reasonable methods capable of withstanding 40 mph wind gusts, and is easy to assemble.
4. The Manufacturer's product description shall accompany the ARC application for the proposed Sukkah with the manufacturer's name, make and model of the product, a picture of the fully erected structure, and storage and installation instructions

- b) If the inspection finds that the proposed Sukkah does not meet or exceed ARC Standards, the application shall be rejected.
- c) If after the inspection is complete, the Sukkah is approved, and a spot inspection finds that applicant is in violation of any of the ARC standards for Other Structures -Sukkah, the Management Office shall notify applicant that they are in violation of the ARC Standards, and immediate remediation of the violation is required.
- d) ARC applications for Sukkah construction must include proof of insurance from applicant's insurance company stating that applicant has sufficient insurance coverage for any damages caused by Sukkah.
- f) The Sukkah is permitted only on and within the footprint of a patio or permanent deck.
- g) Applicant must agree to all restrictions prior to any permit being granted.

Restrictions for Sukkah:

- a) Shall be permitted in back of home **only** with no infringement of side yards; and only one (1) Sukkah is permitted per property.
- b) Shall be permitted on a patio or permanent deck only with sufficient anchoring devices to secure the Sukkah.
 - i. See "P-1 Patio Changes and Installation" for permitted types of Patio

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- construction.
- ii. See S-5 Decks - for permitted types. Sukkah shall be anchored to the deck.
 - c) Shall setback 20 feet or more from the back-property line.
 - d) Required setback of 3 feet, or more, from the back of the home, OR door exit directly out of Sukkah to allow egress.
 - e) Shall allow for safe ingress/egress from back door of the home.
 - f) Home-made structures are not permitted.
 - h) Size of the Sukkah must **not** exceed size of patio or deck.
 - i) Color must be neutral such as beige or light green.
 - j) Material must be fire retardant or equivalent: IF WOOD IS USED, IT MUST BE FIRE RETARDANT OR EQUIVALENT. FIRE RETARDANT WOOD IS STAMPED WITH A FIRE-RETARDANT EMBLEM.
 - k) Plumbing is not permitted.
 - l) Electric power source for lighting and other electric powered devices are permitted, provided that the power source is a permanent exterior GFI outlet or a GFI protected extension cord.
 - m) Electric powered ceramic heaters are permitted. Heaters with an open flames, fueled by propane or natural gas are not permitted.
 - n) Applicant shall adhere to all Lakewood Township noise abatement regulations.
 - o) Construction shall commence not more than 14 days prior to, and completed no less than 8 days prior to the beginning of the holiday, and shall be removed not more than 8 days after the last day of the holiday.
 - p) Residents with an unapproved structure will receive letters from the Management Office demanding the immediate removal of the unauthorized structure.
 - i. Failure to comply with this demand shall result in an assessment to the homeowner, the amount of the maximum permitted daily fine, for each day that the structure is not removed.
 - ii. The amount of the maximum permitted daily fine is defined in the Governing Documents.
 - iii. Repeated violations shall be subject to legal action by the Association.
 - iv Any Sukkah erected must be the size submitted or owner is in violation and subject to all remedies available to the Association to remedy the matter.

NOTE: Courtyard home owners: Please see Courtyard Home ARC Standards for Sukkah installation.

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S-20 SECURITY

Application Required

Security Options:

Outdoor Security Cameras are permitted providing that the area being surveilled is within the confines of the deeded property. Cameras are not permitted for use to surveil other deeded properties.

Doorbell type Security devices are permitted for exterior doors and garage doors.

Security Lights (flood lights) that are mounted on the home (front & rear of home) and activated by motion detector are permitted. No more than two lights are permitted on each home. A light unit may contain up to two lights per unit.

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APPENDIX 1
SUGGESTED PLANTINGS GUIDE

TREES

SHRUBS

Deciduous Shade Trees

Oct, Glory Maple
Red Sunset Maple
Sugar Maple
Emerald Queen Norway Maple
Pin Oak
Red Oak
Greenspire Linden
Bloodgood London Plane
Capitol Pear
Aristocrat Pear
Cleveland Pear
Village Green Zelkova
Patmore Ash

Deciduous Ornamental Trees

Weeping Cherry
Kwanzan Cherry
Redbud
Sophora
Hawthorn – Species

Evergreen Trees

White Pine
Japanese Black Pine
Emerald Arborvitae
Canadian Hemlock
Douglas Fir
Norway Spruce
Colorado Spruce
Blue Spruce

Deciduous Shrubs

Rose of Sharon
Forsythia
Spiraea – species
Viburnum – species
Compact Burning Bush
Deutzia
Barberry – Crimson Pigmy*
Weigela – species
Mock – Orange
Abelia*
Redvein Enkianthus
Smokebush
Lilac
Hydrangea

Evergreen Shrubs

Rhododendron – species*
Japanese Holly – species
Helleri Holly*
Mugho Pine*
Hollywood Juniper
Rubusta Green Juniper
Blue Boy & Girl Holly
Leucothoe*
Spreading Yew

*-- Low Growth